



# **Cortland County**

## **Industrial Development Agency**

### **Agenda for the Cortland County Industrial Development Agency**

**August 10, 2026 – 12pm**

**40 Main Street, Suite A, 2<sup>nd</sup> Floor Cortland New York, 13405**

#### **Roll Call-**

|                    |                                |  |
|--------------------|--------------------------------|--|
| Michael McMahon    | Chairman                       |  |
| Clint Brooks       | Vice Chairman                  |  |
| Dr. Kathleen Burke | Secretary                      |  |
| Deborah Hayden     | Treasurer                      |  |
| Patrick Quinn      | Member                         |  |
| William McGovern   | Member                         |  |
| Jason Hage         | Member                         |  |
| Melanie Vilardi    | Executive Director             |  |
| Andrea Skeels      | Chief Finance Officer          |  |
| Ashley Riehlman    | Community Relations Specialist |  |

#### **Approval of Minutes – July 13, 2026**

#### **New Business**

1. 138 Central LLC – 8 Units on Fisher Ave – John Delvecchio
  - a. SEQR Resolution
  - b. Preliminary Inducement
2. AES Project Fee Payment Schedule

#### **Monthly Reports –**

1. Finance Report
2. Director's Report

#### **Adjourn –**



**Cortland County**  
Industrial Development Agency

# *Minutes*



# Cortland County

## Industrial Development Agency

### MINUTES for the Cortland County Industrial Development Agency

**July 13, 2026 – 12pm**

**40 Main Street, Suite A, 2<sup>nd</sup> Floor Cortland New York, 13405**

#### Roll Call-

Chairman McMahon called the meeting to order at 12:30pm

|                    |                                |         |
|--------------------|--------------------------------|---------|
| Mike McMahon       | Chairman                       | Present |
| Clint Brooks       | Vice Chairman                  | Present |
| Dr. Kathleen Burke | Secretary                      | Present |
| Deborah Hayden     | Treasurer                      | Present |
| Patrick Quinn      | Member                         | Absent  |
| William McGovern   | Member                         | Present |
| Jason Hage         | Member                         | Present |
| Melanie Vilardi    | Executive Director             | Present |
| Andrea Skeels      | Chief Finance Officer          | Present |
| Ashley Riehlman    | Community Relations Specialist | Present |

**Also Present-** Emily Feinstein, Marie Weiss, Morgan Spaulding, John Sidd (Zoom), Gabe Regan (Zoom),

**Approval of Minutes** – June 8, 2026 – Chairman McMahon made a motion to accept the minutes as presented; Dr. Burke seconded, all in favor; none opposed.

#### New Business

1. Cortlandville Commons, LLC (Regan Development Corp) Housing Project – Final Inducement
  - a. Chairman McMahon made a motion to approve a final inducement resolution #2026-07-13-01; Mr. McGovern seconded; all in favor; none opposed.
  - b. Chairman McMahon made a motion to approve a straight lease transaction resolution #2026-07-13-02, Mr. McGovern seconded; all in favor, none opposed.

#### Monthly Reports

1. Finance Report
2. Director's Report

**Adjourn** – Chairman McMahon made a motion to adjourn the meeting at 12:46; Dr. Burke seconded; all in favor; none opposed.



**Cortland County**  
Industrial Development Agency

# Consideration of Preliminary Inducement

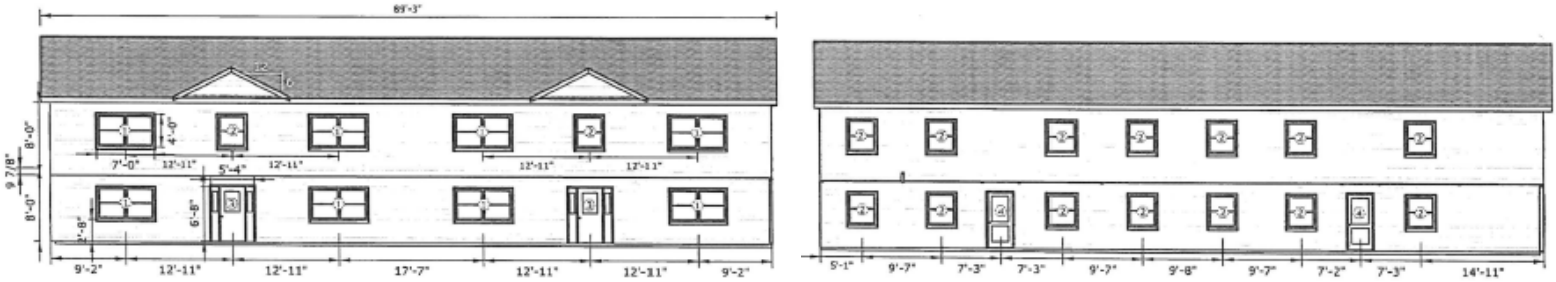
## 138 Central, LLC

John Delvecchio

- Application
- SEQR Resolution
- Preliminary Inducement Resolution



Cortland County IDA  
Housing Project Rationale  
**138 Central LLC**  
August 10, 2026



138 Central LLC proposes a **\$738,500** housing project with 8 units on Fisher Ave in the Town of Cortlandville.

### Overview & Capacity

- **Name:** 138 Central LLC
- **Owner/Developer:**
  - 20% John Delvecchio, 40% Francis Delvecchio and 20% John Delvecchio Irrevocable Trust
  - Family-owned corporation that has invested in real estate in Cortland for decades to include 225 units of student apartments, 100 workforce units and commercial properties
  - Over 50 properties in New York, Connecticut, New Jersey and Pennsylvania
  - Regan builds, owns and manages all of their properties
- **Type:** Workforce Housing
- **Capacity:**
  - The project involves the new construction of a single two-story building with 8 dwelling units. All units will be two-bedroom apartments
  - Rent is estimated to be \$1,000 per month

### Location & Size

- Situated at 1342 Fisher Avenue in the Town of Cortlandville in Cortland County, New York
- Tax ID# 76.19-01-23.000 – .8 acre parcel
- Building height of approximately 16 feet, 2,700 SF per floor with 5,400 total SF
- Parking spaces will be provided on-site

### Project Timeline

- **Development & Permitting:** Permitting approved by Cortlandville June 2026

- **Construction & Operation:** Construction is expected to start Fall of 2026, completion in Fall of 2027 with occupancy in early 2028

138 Central LLC is seeking a 4-year PILOT from the CCIDA to incentivize the project, which will provide:

- PILOT revenues (pro rata to the town, county, and school district) of \$30,928 over 4 years (taxes without the project would be \$14,601). The tax exemption amount is \$29,101.
- Payments will be frozen in year one to allow for construction and occupancy.
- Employ a base of local construction workers to build the project with payroll and supplies estimated at approximately \$731,500.
- Increase the workforce housing stock in Cortland County which is desperately needed

The town of Cortlandville conducted an environmental review and is supportive of this project. Staff are recommending approval of CCIDA incentives for this project as further detailed in the project summary.

## CORTLAND COUNTY INDUSTRIAL DEVELOPMENT AGENCY

### APPLICATION FOR FINANCIAL ASSISTANCE

**IMPORTANT NOTICE:** The answers to the questions contained in this application are necessary to determine the applicant's eligibility for financial assistance from the Cortland County Industrial Development Agency. The answers will also be used in the preparation of papers in this transaction. Accordingly, an officer or other employee of the applicant who is thoroughly familiar with the business and affairs of the applicant and who is also thoroughly familiar with the proposed project should answer all questions accurately and completely. This application is subject to acceptance by the Agency.

**TO: CORTLAND COUNTY INDUSTRIAL DEVELOPMENT AGENCY**  
**40 MAIN STREET**  
**CORTLAND, NEW YORK 13045**

**APPLICANT:** 138 Central LLC  
**APPLICANT'S STREET ADDRESS:** PO Box 705  
**CITY:** Cortland **STATE:** NY **PHONE NO.:** 607-429-3000  
**E-MAIL ADDRESS:** westroad4030@yahoo.com

**NAME OF PERSON(S) AUTHORIZED TO SPEAK FOR APPLICANT WITH RESPECT TO THIS APPLICATION:** John DeVecchio

IF APPLICANT IS REPRESENTED BY AN ATTORNEY, COMPLETE THE FOLLOWING:

**NAME OF FIRM:** Cardinale & DeVecchio Law Firm  
**NAME OF ATTORNEY:** John A. DeVecchio  
**ATTORNEY'S STREET ADDRESS:** 4030 West Road  
**CITY:** Cortland **STATE:** NY **PHONE NO.:** 607-299-4796  
**E-MAIL ADDRESS:** jad@cardinalelawfirm.com

**NOTE: PLEASE READ THE INSTRUCTIONS ON PAGE 2 BEFORE FILLING OUT THIS APPLICATION**

INSTRUCTIONS

1. The Agency will not approve any applications unless, in the judgment of the Agency, said application contains sufficient information upon which to base a decision whether to approve or tentatively approve an action.
2. Fill in all blanks, using "none" or "not applicable" or "N/A" where the question is not appropriate to the project which is the subject of this application (the "Project").
3. If an estimate is given as the answer to a question, put "(est)" after the figure or answer, which is estimated.
4. If more space is needed to answer any specific question, attach a separate sheet.
5. When completed, email an electronic copy to the Agency at [info@cortlandbusiness.com](mailto:info@cortlandbusiness.com)
6. The Agency will not give final approval to this application until the Agency receives a completed environmental assessment form concerning the Project, which is the subject of this application.
7. Please note that Article 6 of the Public Officers Law declares that all records in the possession of the Agency (with certain limited exceptions) are open to public inspection and copying. If the applicant feels that there are elements of the Project which are in the nature of trade secrets or information, the nature of which is such that if disclosed to the public or otherwise widely disseminated would cause substantial injury to the applicant's competitive position, the applicant may identify such elements in writing and request that such elements be kept confidential in accordance with Article 6 of Public Officers Law.
8. The applicant will be required to pay to the Agency all actual costs incurred in connection with this application and the Project contemplated herein (to the extent such expenses are not paid out of the proceeds of the Agency's bonds issued to finance the project). The applicant will also be expected to pay all costs incurred by general counsel and bond counsel to the Agency. The costs incurred by the Agency, including the Agency's general counsel and bond counsel, may be considered as a part of the project and included as a part of the resultant bond issue.
9. The Agency has established an application fee of Five Thousand Dollars (\$5000) for Renewable Energy and Five Hundred Dollars for all others (\$500) to cover the anticipated costs of the Agency in processing this application. A check or money order made payable to the Agency must accompany each application. THIS APPLICATION WILL NOT BE ACCEPTED BY THE AGENCY UNLESS ACCOMPANIED BY THE APPLICATION FEE.
10. The Agency has established a project fee of a minimum of 1% for each project in which the Agency participates. UNLESS THE AGENCY AGREES IN WRITING TO THE CONTRARY, THIS PROJECT FEE IS REQUIRED TO BE PAID BY THE APPLICANT AT OR PRIOR TO THE GRANTING OF ANY FINANCIAL ASSISTANCE BY THE AGENCY.

**FOR AGENCY USE ONLY**

|     |                                                     |             |
|-----|-----------------------------------------------------|-------------|
| 1.  | Project Name or Number                              | _____       |
| 2.  | Date Application Received by Agency                 | _____, 20__ |
| 3.  | Date Application Referred to Attorney for Review    | _____, 20__ |
| 4.  | Date Copy of Application Mailed to Members          | _____, 20__ |
| 5.  | Date Notice of Agency Meeting on Application Posted | _____, 20__ |
| 6.  | Date Notice of Agency Meeting on Application Mailed | _____, 20__ |
| 7.  | Date of Agency Meeting on Application               | _____, 20__ |
| 8.  | Date Agency Conditionally Approved Application      | _____, 20__ |
| 9.  | Date Scheduled for Public Hearing                   | _____, 20__ |
| 10. | Date Environmental Assessment Form ("EAF") Received | _____, 20__ |
| 11. | Date Agency Completed Environmental Review          | _____, 20__ |
| 12. | Date of Final Approval of Application               | _____, 20__ |

**I. APPLICANT INFORMATION-COMPANY TO RECEIVE BENEFITS (the "COMPANY")**

A. **Identity of Company:**

1. Company Name: 138 Control LLC  
 Present Address: PO Box 705, Cortland, NY  
 Zip Code: 13045 Employer ID No.: 99-3148409

2. Indicate type of business organization of Company:

- a. ☐ Corporation. Incorporated in what country? \_\_\_\_\_;  
 State: \_\_\_\_\_; Date Incorporated: \_\_\_\_\_;  
 Authorized to do business in New York State? Yes \_\_\_\_\_ No \_\_\_\_\_  
 i. Is the Corporation Publicly Held? Yes \_\_\_\_\_ No \_\_\_\_\_. If yes, please list  
 exchanges where stock is traded: \_\_\_\_\_  
 ii. If no, list all Stockholders having a 5% or more interest in the  
 Company: \_\_\_\_\_

| Name | Address | Percentage of Holding |
|------|---------|-----------------------|
|      |         |                       |
|      |         |                       |
|      |         |                       |
|      |         |                       |
|      |         |                       |

- b. ☐ Partnership. General or Limited partnership? \_\_\_\_\_  
 Name all partners below:

| Name | Address | General Partner | Limited Partner |
|------|---------|-----------------|-----------------|
|      |         |                 |                 |
|      |         |                 |                 |
|      |         |                 |                 |
|      |         |                 |                 |
|      |         |                 |                 |

- c. ☒ Limited Liability Company. Formed in what country USA;  
 State: NY; Date of Formation: 5-16-2024;  
 Authorized to do business in New York State? Yes X No \_\_\_\_\_;  
 Name all members below:

| Name                                     | Address            | Membership Percentage |
|------------------------------------------|--------------------|-----------------------|
| John DeMeco                              | 4446 Raphael Drive | 20%                   |
| Francis DeMeco                           | 1287 Bell Drive    | 40%                   |
| John DeMeco Irrevocable Trust PO Box 705 |                    | 40%                   |
|                                          |                    |                       |
|                                          |                    |                       |

- d. ☐ Sole proprietorship. Name of Sole Proprietor: \_\_\_\_\_

3. Is the Company a subsidiary or direct or indirect affiliate of any other organization(s)? If so, indicate name of related organization(s) and relationship: \_\_\_\_\_

**B. Management of Company:**

List all officers/directors/managers (complete all columns for each person):

| Name and Home Address          | Office Held     |
|--------------------------------|-----------------|
| John DeMeco 4446 Raphael Drive | Managing member |
|                                |                 |
|                                |                 |
|                                |                 |
|                                |                 |
|                                |                 |
|                                |                 |

**C. Company/Management History:**

- Is the Company or management of the Company now a plaintiff or a defendant in any civil or criminal litigation? Yes \_\_\_\_\_ No X.
- Has any person listed above ever been convicted of a criminal offense (other than a minor traffic violation)? Yes \_\_\_\_\_ No X.
- Has any person listed above or any concern with whom such person has been connected ever been in receivership or been adjudicated a bankrupt? Yes \_\_\_\_\_ No X.

If the answer to any of questions 1 through 3 is yes, please furnish details in a separate attachment.

## II. PROPOSED PROJECT DATA

### A. Description of the Project:

1. Please provide a narrative of the Project and the purpose of the Project (acquisition, construction, renovations and/or equipment purchases). Identify specific uses occurring with the Project. Describe any and all tenants and any/all end users (attach additional pages):

acquisition to construct an 8-unit  
apartment building

2. Describe the reasons why the Agency's Financial Assistance is necessary and the effect the Project will have on the Company's business or operations and any corresponding benefit to the Cortland County community (attach additional pages):

the agency's financial assistance will aid  
in making the project feasible and it will  
benefit the community by increasing the  
supply of housing.

3. Is there a likelihood that the Project would not be undertaken but for the Financial Assistance provided by the Agency:

☒ Yes

☐ No

4. If the Project could be undertaken without the Financial Assistance provided by the Agency, then provide a statement indicating why the Project should be undertaken by the Agency (attach additional pages):

Financial assistance will make the  
apartments more affordable to our  
customers and lower monthly rent burden  
on our tenants.

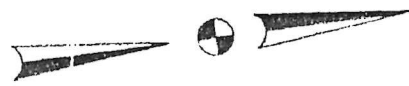
### B. Location of Project:

1. Street Address: 1342 Fisher Avenue  
2. City: \_\_\_\_\_  
3. Town: Cortlandville  
4. Village: \_\_\_\_\_  
5. Is any portion of the Project located outside of Cortland County? If so, identify the other county: No  
6. School District: Humor Central  
7. Tax Parcel Nos.: 76.19-01-23.000

C. Description of the Project site:

1. Approximate size (in acres or square feet) of the Project site: 0.8 acres  
Attach a map, survey or sketch of the Project site.
2. Are there existing buildings on the Project Site?  
Yes ☒ No \_\_\_\_\_. If yes,
  - a. Indicate each existing building and indicate the approximate size (in square feet) of each building:  
One single family home and a garage  
(2,100 square feet) (300 square feet)
  - b. Are the existing buildings in operation? Yes ☒ No \_\_\_\_\_.  
If yes, describe the present use of each building in operation:  
Rental home
  - c. Are the existing buildings abandoned? Yes \_\_\_\_\_ No ☒;  
About to be abandoned? Yes \_\_\_\_\_ No ☒. If yes,  
describe:
  - d. Attach photographs of existing buildings.
3. Utilities Serving the Project Site:  
Water: Municipal ☒ Other \_\_\_\_\_. If other, describe \_\_\_\_\_  
Sewer: Municipal ☒ Other \_\_\_\_\_. If other, describe \_\_\_\_\_  
Electric Utility Co.: National Grid  
Natural Gas Utility Co.: NYSEG  
Other Utility Sources: \_\_\_\_\_
4. Present Legal Owner of the Project Site:
  - a. If the Company owns the Project site, indicate:  
Date of Purchase: De Vecchio Family LLC 3-15-2022





right of way

FISHER AVENUE

center line

S-83°-09'-22"-E

COMPAGNI (R.O.)

N-83°-09'-22"-W

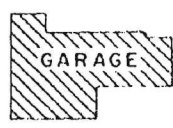
ROSEN (R.O.)

N-06°-50'-38"-E

132.00'

36,960 SQ. FT.

280.00'



280.00'

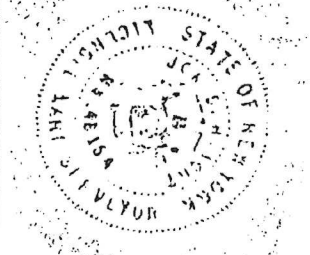
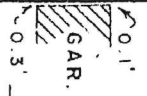
132.00'

S-06°-50'-38"-W

GOLICKI (R.O.)

BEREAN (R.O.)

204' in a straight line intersection to the right of way line of Homer Ave.



DENOTES EXISTING IRON MARKER  
DENOTES SET IRON MARKER  
PARCEL IDENTIFICATION NO 76.19-1-23

TO ROBERT E. & HELEN E. NABINGER  
I HEREBY CERTIFY THAT THIS MAP IS AN ACCURATE  
DEMONSTRATION OF AN ACTUAL SURVEY MADE UNDER MY  
SUPERVISION CERTIFIED AS OF 1-25-85  
JON D. HAIGHT  
L.S. 18154  
REPLICATION OF THIS DOCUMENT EXCEPT BY A LICENSED  
LAND SURVEYOR IS ILLEGAL

|                                                                            |                       |
|----------------------------------------------------------------------------|-----------------------|
| MAP SHOWING LANDS OF<br>ROBERT E. & HELEN E. NABINGER                      |                       |
| MIL. LOT 54 & 55                                                           | TOWN OF CORTLANDVILLE |
| COUNTY OF CORTLAND                                                         | STATE OF NEW YORK     |
| SCALE 1" = 40 FEET                                                         | DATE JAN. 25, 1985    |
| <b>JON D. HAIGHT</b><br>Professional Land Surveyor<br>Cortland, N.Y. 13045 | FILE NO. 3057         |





Purchase Price: \$57,000.00

- b. If the Company does not own the Project site, does the Company have the contractual right to purchase the Project site?

Yes \_\_\_\_\_ No \_\_\_\_\_. If yes, indicate:

Date Contract Signed: \_\_\_\_\_

Date Ability to Purchase Expires: \_\_\_\_\_

- c. If the Company does not own the Project site, is there a relationship legally or by common control between the Company and present owner of the Project site?

Yes X No \_\_\_\_\_. If yes, describe:

all common and some owners

5. Zoning District in which the Project is located: B-2

6. Are there any variances or special permits affecting the Project site now or which need to be obtained to complete the Project?

Yes \_\_\_\_\_ No X. If yes, list below and attach copies of all variances or special permits:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

D. Description of the Proposed Construction:

1. Does part of the Project consist of the acquisition or construction of a new building or buildings? Yes X No \_\_\_\_\_. If yes, indicate number of and size of new buildings:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

2. Does part of the Project consist of additions and/or renovations to existing buildings located on the Project site? Yes X No \_\_\_\_\_. If yes, indicate:

a. The number of buildings to be expanded or renovated: 1

b. The size of any expansions: 0

c. The nature of expansion and/or renovation:

Remodel existing single family structure, both interior and exterior

3. Describe the principal uses to be made by the Company of the building or buildings to be acquired, constructed or expanded:

Residential apartment housing.

**E. Description of the Equipment:**

1. Does part of the Project consist of the acquisition or installation of machinery, equipment or other personal property (the "Equipment")? Yes \_\_\_\_\_ No X. If yes, describe the Equipment:

2. With respect to the Equipment to be acquired, will any of the Equipment be previously used Equipment? Yes \_\_\_\_\_ No N/A. If yes, please provide detail below:

3. Describe the principal uses to be made by the Company of the Equipment to be acquired or installed:

N/A

**F. Project Use:**

1. What are the principal products to be produced at the Project site?

N/A

2. What are the principal activities to be conducted at the Project?

Rental apartment houses



3. Does the Project include facilities or property that are primarily used in making retail sales of goods or services to customers who personally visit such facilities?

Yes \_\_\_\_\_ No X. If yes please provide detail:

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4. If the answer to question 3 is yes, what percentage of the cost of the Project will be expended on such facilities or property primarily used in making retail sales of goods or services to customers who personally visit the Project? n/a %

5. If the answer to question 3 is yes, and the answer to question 4 is more than 33.33%, indicate whether any of the following apply to the Project:

- a. Will the Project be operated by a not-for-profit corporation?  
Yes \_\_\_\_\_ No \_\_\_\_\_. If yes, please explain:

n/a

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- b. Is the Project likely to attract a significant number of visitors from outside the economic development region (as established by Section 230 of the Economic Development Law) in which the Project will be located?

Yes \_\_\_\_\_ No \_\_\_\_\_. If yes, please explain:

n/a

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- c. Would the Project occupant, but for the contemplated Financial Assistance from the Agency, locate the related jobs outside of New York State?

Yes \_\_\_\_\_ No \_\_\_\_\_. If yes, please explain:

n/a

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- d. Is the predominant purpose of the Project to make available goods or services which would not, but for the Project, be

reasonably accessible to the residents of the city, town or village within which the Project will be located because of a lack of reasonably accessible retail trade facilities offering such goods or services?

Yes \_\_\_\_ No \_\_\_\_ . If yes, please provide detail:

n/a

- e. Will the Project be located in one of the following: (i) an area which was designed as an empire zone pursuant to Article 18-B of the General Municipal Law; or (ii) a census tract or block numbering area (or census tract or block numbering area contiguous thereto) which, according to the most recent census data, has (a) a poverty rate of at least 20% for the year in which the data relates, or at least 20% of households receiving public assistance, and (b) an unemployment rate of at least 1.25 times the statewide unemployment rate for the year to which the data relates?

Yes \_\_\_\_; No \_\_\_\_ . If yes, please explain:

n/a

6. If the answers to any of subdivisions c. through e. of question 5 are yes, will the Project preserve permanent, private sector jobs or increase the overall number of permanent, private sector jobs in the State of New York?

Yes \_\_\_\_ No \_\_\_\_ . If yes, please explain:

n/a

7. Will the completion of the Project result in the removal of an industrial or manufacturing plant of the Company or another proposed occupant of the Project (a "Project Occupant") from one area of the State of New York to another area of the State of New York?

Yes \_\_\_\_ No \_\_\_\_ . If yes, please explain:

n/a

8. Will the completion of the Project result in the abandonment of one or more plants or facilities of the Company or a Project Occupant located in

the State of York?

Yes \_\_\_\_ No \_\_\_\_ . If yes, provide detail:

n/a

9. If the answer to either question 7 or question 8 is yes, indicate whether any of the following apply to the Project:

- a. Is the Project reasonably necessary to preserve the competitive position of the Company or such Project Occupant in its industry?

Yes \_\_\_\_; No \_\_\_\_ . If yes, please provide detail:

n/a

- b. Is the Project reasonably necessary to discourage the Company or such Project Occupant from removing such other plant or facility to a location outside the State of New York?

Yes \_\_\_\_ No \_\_\_\_ . If yes, please provide detail:

n/a

G. **Project Status:**

1. If the Project includes the acquisition of any land or buildings, have any steps been taken toward acquiring same?

Yes X No \_\_\_\_ . If yes, please discuss in detail the approximate stage of such acquisition:

Will be drafting legal papers to acquire

2. If the Project includes the acquisition of any Equipment, have any steps been taken toward acquiring same?

Yes \_\_\_\_ No X . If yes, please discuss in detail the approximate stage of such acquisition:



3. If the Project involves the construction or reconstruction of any building or other improvement, has construction work on any such building or improvement begun? Yes \_\_\_\_\_ No X. If yes, please discuss in detail the approximate extent of construction and the extent of completion. Indicate in your answer whether such specific steps have been completed as site clearance and preparation; completion of foundations; installation of footings; etc.:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

4. Please indicate the amount of funds expended on the Project by the Applicant in the past three (3) years and the purpose of such expenditures:

\_\_\_\_\_ \$7,000.00 estimated cost  
\_\_\_\_\_ of drawings  
\_\_\_\_\_

**III. INFORMATION CONCERNING LEASES OR SUBLEASES OF THE PROJECT**  
**(PLEASE COMPLETE THE FOLLOWING SECTION IF THE APPLICANT INTENDS TO LEASE OR SUBLEASE ANY PORTION OF THE PROJECT)**

- A. Does the Company intend to lease or sublease more than 10% (by area or fair market value) of the Project? Yes \_\_\_\_\_ No X. If yes, please complete the following for each existing or proposed tenant or subtenant:

Sublessee Name: n/a  
Present Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Employer's ID No.: \_\_\_\_\_  
Sublessee is: \_\_\_\_\_ Corporation; \_\_\_\_\_ Partnership; \_\_\_\_\_; Limited Liability Company; \_\_\_\_\_ Sole Proprietor  
Relationship to Company: \_\_\_\_\_  
Percentage of Project to be leased or subleased: \_\_\_\_\_  
Use of Project intended by Sublessee: \_\_\_\_\_  
Date of lease or sublease to Sublessee: \_\_\_\_\_  
Term of lease or sublease to Sublessee: \_\_\_\_\_  
Will any portion of the space leased by this sublessee be primarily used in making retail sales of goods or services to customers who personally visit the Project? Yes \_\_\_\_\_ No \_\_\_\_\_.  
If yes, please provide on a separate attachment

- a. details; and
- b. the answers to questions II (F) (4) through (6) with respect to such sublessee.

B. What percentage of the space intended to be leased or subleased is now subject to a binding written lease or sublease? 0 %

#### IV. EMPLOYMENT IMPACT

- A. Indicate below the number of people presently employed at the Project Site and the number that will be employed at the Project site at the end of the first and second years after the Project has been completed (Do not include construction workers). Also indicate below the number of workers employed at the Project site representing newly created positions as opposed to positions relocated from other project sites of the Applicant.

|                       | Current # of Jobs at proposed Project location or to be relocated to Project location | If Financial Assistance is granted, estimate the number of FTE and PTE jobs to be <u>Retained</u> | If Financial Assistance is granted, estimate the number of FTE and PTE jobs to be <u>Created</u> by Two years after Project completion | Estimate number of residents of the Labor Market Area in which the Project is located that will fill the retained and created FTE and PTE jobs Two years after Project completion** |
|-----------------------|---------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Present Full Time     | 0                                                                                     | 0                                                                                                 | 0                                                                                                                                      | 0                                                                                                                                                                                   |
| Present Part Time     | 0                                                                                     | 0                                                                                                 | 0                                                                                                                                      | 0                                                                                                                                                                                   |
| First Year Full Time  | 0                                                                                     | 0                                                                                                 | 0                                                                                                                                      | 0                                                                                                                                                                                   |
| First Year Part Time  | 0                                                                                     | 0                                                                                                 | 0                                                                                                                                      | 0                                                                                                                                                                                   |
| Second Year Full Time | 0                                                                                     | 0                                                                                                 | 0                                                                                                                                      | 0                                                                                                                                                                                   |
| Second Year Part Time | 0                                                                                     | 0                                                                                                 | 0                                                                                                                                      | 0                                                                                                                                                                                   |
| Total:                | 0                                                                                     | 0                                                                                                 | 0                                                                                                                                      | 0                                                                                                                                                                                   |

\*\*For purposes of the question, please estimate in the fourth column the number of FTE and PTE jobs, as indicated in the second and third columns, that will be filled by residents of the Labor Market Area. The Labor Market Area includes Cortland County as well as the counties of Cayuga, Onondaga, Tompkins, Broome and Chenango.

| Category of Jobs to be Retained and Created | Estimated Average Salary or Range of Salary | Estimated Average Fringe Benefits or Range of Fringe Benefits |
|---------------------------------------------|---------------------------------------------|---------------------------------------------------------------|
| Management                                  | 0                                           | 0                                                             |
| Professional                                | 0                                           | 0                                                             |
| Administrative                              | 0                                           | 0                                                             |
| Production                                  | 0                                           | 0                                                             |
| Independent Contractors                     | 0                                           | 0                                                             |
| Other                                       | 0                                           | 0                                                             |

- B. Please state the anticipated date of completion of the Project site and the anticipated date of occupancy of the Project site:

Project Site Completion Date: 3-1-2028  
Project Site Occupancy Date: 3-1-2028

V. **PROJECT COST**

- A. State the costs reasonably necessary for the acquisition of the Project site, the construction of the proposed buildings and the acquisition and installation of any machinery and equipment necessary or convenient in connection therewith, and including any utilities, access roads or appurtenant facilities, using the following categories:

**Description of Cost:**

**Amount:**

|                                                     |                                 |
|-----------------------------------------------------|---------------------------------|
| Land Acquisition                                    | \$ 100,000.00 est               |
| Building Construction                               | \$ 550,000.00 est               |
| Building Renovation                                 | \$ 50,000.00 est                |
| Machinery and equipment costs                       | \$ 18,000.00 for appliances est |
| Utilities, roads and appurtenant costs              | \$ 10,000.00 est                |
| Architects and engineering fees                     | \$ 3,500.00 est                 |
| Costs of Bond issue (legal, financial and printing) | \$ 0                            |
| Construction loan fees and interest (if applicable) | \$ 0                            |
| Other (specify)                                     |                                 |
| <u>drawings</u>                                     | \$ 7,000.00 est                 |
| <u>0</u>                                            | \$ 0                            |
| <u>0</u>                                            | \$ 0                            |
| <u>0</u>                                            | \$ 0                            |
| <b>TOTAL PROJECT COSTS:</b>                         | <b>\$ 738,500.00 est</b>        |

- B. Have any of the above expenditures already been made by the Applicant?  
Yes ☒ No ☐ If yes, indicate particulars:

\$ 7,000.00 estimated cost of drawings.

VI. **FINANCIAL ASSISTANCE EXPECTED FROM THE AGENCY**

A. **Tax Benefits:**

1. Is the Applicant requesting a real property tax exemption in connection with the Project from the Agency? Yes X No \_\_\_\_.
2. Is the Applicant expecting to be appointed agent of the Agency for purposes of receiving an exemption from N.Y.S. Sales Tax or Compensating Use Tax? Yes X No \_\_\_\_.
3. Is the Applicant requesting a mortgage recording tax exemption in connection with the Project from the Agency? Yes \_\_\_\_ No X.
4. What is the estimated value of each type of tax exemption being sought in connection with the Project? Please detail the type of tax exemption and value of each exemption:
  - a. N.Y.S. Sales and Compensating Use Taxes: \$ 50,000.00 est
  - b. Mortgage Recording Taxes: \$ 0
  - c. Real Property Taxes: \$ 27,439.00 est  
(Please consult with the Agency in calculating the estimated value of the real property tax exemption)
  - d. Other (please specify):

|          |             |
|----------|-------------|
| <u>0</u> | \$ <u>0</u> |
| <u>0</u> | \$ <u>0</u> |
| <u>0</u> | \$ <u>0</u> |
5. Are any of the tax-exemptions being sought in connection with the Project inconsistent with the Agency's Uniform Tax-exemption Policy? Yes X No \_\_\_\_\_. If yes, please explain how the request of the Applicant differs from the Agency's Uniform Tax-Exemption Policy:  
Longevity of the PILOT differs from  
the UTEP.

B. **Financing:**

1. Is the Applicant requesting that the Agency issue bonds to assist in financing the Project? Yes \_\_\_\_ No X. If yes, indicate:
  - a. Principal Amount of Bonds Requested \$ n/a
  - b. Maturity Requested n/a Years
  - c. Is the Interest on such bonds intended to be exempt from federal income taxation? Yes n/a No \_\_\_\_.

2. What is the approximate amount of private sector financing to be obtained? \$ 0. Is the Applicant expecting that the private sector financing of the Project will be secured by one or more mortgages? Yes      No X.  
If yes, what is the approximate amount of private sector financing to be secured? \$ 1/9.
3. Is the Applicant expecting that any of the financing of the Project will come from public sector sources? Yes      No X.  
What is the approximate amount of public sector financing to be obtained? \$ 0.  
If yes, is the Company expecting that the public sector financing of the Project will be secured by one or more mortgages or grant agreements? Yes      No X.  
If yes, what is the approximate amount of public sector financing to be secured? \$ 0.
4. Please state the approximate amount to be invested in the Project (not borrowed or the subject of a grant) by the Applicant  
\$ 731,500.00 est
5. Please state the approximate total amount of borrowed funds to be invested in the Project \$ 0.

VII. **REPRESENTATIONS BY THE APPLICANT**

The Applicant understands and agrees with the Agency as follows:

- A. **Job Listings:** In accordance with Section 858-b (2) of the New York General Municipal Law, the Applicant understands and agrees that, if the Project receives any Financial Assistance from the Agency, except as otherwise provided by collective bargaining agreements, new employment opportunities created as a result of the Project will be listed with the New York State Department of Labor Community Services Division (the "DOL") and with the administrative entity (collectively with the DOL, the "JTPA Entities") of the service delivery area created by the Federal Job Training Partnership Act (Public Law 97-300) ("JTPA") in which the Project is located.
- B. **First Consideration for Employment:** In accordance with Section 858-b (2) of the New York General Municipal Law, the Applicant understands and agrees that, if the Project receives any Financial Assistance from the Agency, except as otherwise provided by collective bargaining agreements, where practicable, the Applicant will first consider persons eligible to participate in JTPA programs who shall be referred by the JTPA Entities for new employment opportunities created as a result of the Project.

- C. **Local Workforce Development:** The Applicant understands and agrees that if the Project receives Financial Assistance from the Agency, except as provided by collective bargaining where practicable, the Applicant will increase the skill base of the local workforce through training, opportunities for professional development and career track advancement.
- D. **Annual Sales Tax Filings:** In accordance with Section 874(8) of the New York General Municipal Law, the Applicant understands and agrees that, if the Project receives any sales tax exemptions as part of the Financial Assistance from the Agency, in accordance with Section 874(8) of the General Municipal Law, the Applicant agrees to file, or cause to be filed, with the New York State Department of Taxation and Finance, the annual form prescribed by the Department of Taxation and Finance, describing the value of all sales tax exemptions claimed by the Applicant and all consultants or subcontractors retained by the Applicant.
- E. **Annual Employment Reports:** The Applicant understands and agrees that, if the Project receives any Financial Assistance from the Agency, the Applicant will file, or cause to be filed, with the Agency, on an annual basis, reports regarding the number of people employed at the Project site.
- F. **Absence of Conflicts of Interest:** The Applicant has received from the Agency a list of the members, officers and employees of the Agency. No member, officer or employee of the Agency has an interest, whether direct or indirect, in any transaction contemplated by this Application, except as hereinafter described:
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- G. **Federal, State and Local Laws:** The Applicant/Owner/Occupant/Operator receiving the Financial Assistance understands and agrees that it must be, at all times, in compliance with applicable local, state and federal tax, worker protection and environmental laws, rules and regulations.
- H. **Environmental Matters:** The Applicant acknowledges that certain environmental representations will be required at closing. The Applicant shall provide copies of any known environmental reports, including any existing Phase I Environmental Site Assessment Report(s) and/or Phase II Environmental Investigations. The Agency may require the Company and/or Owner of the Premises to prepare and submit an environmental assessment and audit report including, but not limited to, a Phase I Environmental Site Assessment Report and a Phase II Environmental Investigation, with respect to the Premises at the sole cost and expense of the Owner and/or the Applicant.

All environmental assessment and audit reports shall be completed in accordance with ASTM Standard Practice E1527-13, and shall be conformed over to the Agency so that the Agency is authorized to use and rely on the reports. The Agency, however, does not adopt, ratify, confirm or assume any representation made with reports required herein.

- I. **Release:** The Applicant and/or Owner, and their successors and assigns, hereby release, defend and indemnify the Agency from any and all suits, causes of action, litigations, damages, losses, liabilities, obligations, penalties, claims, demands, judgments, costs, disbursements, fees or expenses of any kind or nature whatsoever (including, without limitation, attorneys', consultants' and experts' fees) which may at any time be imposed upon, incurred by or asserted or awarded against the Agency resulting from or arising out of any inquiries and/or environmental assessments, investigations and audits performed on behalf of the Applicant and/or Owner pursuant hereto, including the scope, level of detail, contents or accuracy of any environmental assessment, audit, inspection or investigation report completed hereunder and/or the selection of the environmental consultant, engineer or other qualified person to perform such assessments, investigations and audits.
  
- J. **Hold Harmless Provision:** The Applicant acknowledges and agrees that the Applicant shall be and is responsible for all costs of the Agency incurred in connection with any actions required to be taken by the Agency in furtherance of the Application including the Agency's costs of general counsel and/or the Agency's bond/transaction counsel whether or not the Application, the proposed Project it describes, the attendant negotiations, or the issue of bonds or other transaction or agreement are ultimately ever carried to successful conclusion and agrees that the Agency shall not be liable for and agrees to indemnify, defend and hold the Agency harmless from and against any and all liability arising from or expense incurred by: (i) the Agency's examination and processing of, and action pursuant to or upon, the Application, regardless of whether or not the Application or the proposed Project described herein or the tax exemptions and other assistance requested herein are favorably acted upon by the Agency; (ii) the Agency's acquisition, construction and/or installation of the proposed Project described herein; and (iii) any further action taken by the Agency with respect to the proposed Project including, without limiting the generality of the foregoing, all causes of action and attorneys' fees and any other expenses incurred in defending any suit or actions which may arise as a result of any of the foregoing. Applicant hereby understands and agrees, in accordance with Section 875(3) of the New York General Municipal Law and the policies of the Agency that any New York State and local sales and use tax exemption claimed by the Applicant and approved by the Agency, any mortgage recording tax exemption claimed by the Applicant and approved by the Agency, and/or any real property tax abatement claimed by the Applicant and approved by the Agency in connection with the Project, may be subject to recapture and/or termination by the Agency under such

terms and conditions as will be established by the Agency and set forth in transaction documents to be entered into by and between the Agency and the Applicant. The Applicant further represents and warrants that the information contained in this Application including, without limitation, information regarding the amount of the New York State and local sales and use tax exemption benefit, the amount of the mortgage recording tax exemption benefit, and the amount of the real property tax abatement, if and as applicable, to the best of the Applicant's knowledge, is true, accurate and complete.

- K. **False or Misleading Information.** The submission of any knowingly false or misleading information by the applicant may lead to the immediate termination of any Financial Assistance and the reimbursement of an amount equal to all or part of any tax exemptions claimed by reason of Agency involvement in the Project.

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VERIFICATION

(If Applicant is a Corporation, Limited Liability Company, General or Limited Partnership)

STATE OF New York )  
COUNTY OF Cortland ) ss.:

John DeLaccho deposes and says, under the penalties of perjury, that he/she is the managing member (must be the chief executive officer, member, manager, general partner or such other individual duly authorized to bind the applicant) of 138 Central LLC (name of applicant); that he/she has read the foregoing application and knows the contents thereof; and that the same is true, complete and accurate to the best of his/her knowledge; that the reason this verification is made by the deponent and not by the applicant is the applicant is a LLC (Corporation, Limited Liability Company, General or Limited Partnership). The grounds of deponent's belief relative to all matters in the application which are not stated upon his/her own personal knowledge are investigations which deponent has caused to be made concerning the subject matter of this application as well as information acquired by deponent in the course of his/her duties as managing member of the applicant and from the books and records of the applicant.

Signature: \_\_\_\_\_  
Print Name: \_\_\_\_\_

Sworn to before me this 2nd  
day of July, 2026

Victoria J. Shaffer  
Notary Public

VICTORIA J. SHAFFER  
Notary Public, State of New York  
No J1SH6100429  
Qualified in Cortland County  
Commission Expires October 20, 2027

### **Income and Expense**

|                                                |          |
|------------------------------------------------|----------|
| Eight 2 bedroom apartments @ \$1,000 per month | \$96,000 |
|------------------------------------------------|----------|

|                                        |           |
|----------------------------------------|-----------|
| Single family Home @ \$1,000 per month | \$ 12,000 |
|----------------------------------------|-----------|

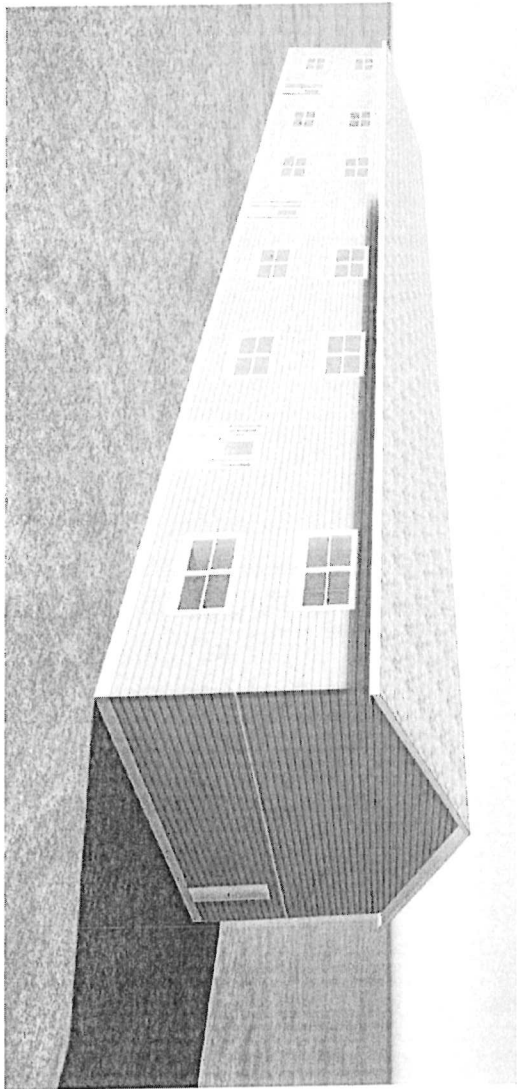
|                    |         |
|--------------------|---------|
| Maintenance costs: | \$8,400 |
|--------------------|---------|

- Snowplowing

- Utility costs for common areas

- Ground maintenance

- Dumpster fees



## Notes:

1. All Lumber in direct contact with footing or concrete shall be pressure treated UC4B Lumber
  2. All slab concrete shall be 28-day cure with compressive strength of 4000 psi. The water-cement ratio to be 0.42 and a maximum aggregate size of 1" that complies with ASTM C-33. Gradation for coarse and fine aggregate provide air entrainment such that total air content is 6%  $\pm$  1.5%
  3. Use 90° bent bars for horizontal corner reinforcement with a minimum overlap of 2' 6"
  4. Concrete shall not be placed on frozen, uncompacted, or saturated fill. All concrete pours shall be protected from freezing temperatures and flash drying. Reinforcement steel shall be 2 1/2" minimum from concrete surface
  5. All concrete foundations and slabs shall be placed on compacted soils with minimum bearing capacity of 2000lbs/sqft
  6. Plumbing shall conform to the IRC 2024 R306 and R307
  7. Heating, Cooling, and Ventilation shall conform to IRC 2024 R303 as well as ASHRAE
  8. All electric shall conform to IRC 2024 and all standards referenced by the National Electric Code (NEC), as well as NYSEG requirements
  9. All trusses shall connect to exterior walls with hurricane ties
  10. Smoke detectors, carbon monoxide detectors, and alarms shall be placed in accordance to IRC2024
  11. All heating, plumbing, and kitchen to be designed by qualified professional in accordance to IRC 2024
  12. All exterior windows and doors will be high performance double pane glass or better and sealed with lifetime silicon caulk or equal
  13. This building will meet or exceed New York State energy code
  14. Loads and design to be in accordance with Strength Design Load, Reinforced Concrete ACI 318, Steel AISC 8th Edition, Masonry ACI 530/ASCE 5/TMS 402, Wood design section 2301
  15. All exposed wood should be pressure treated
  16. All metal touching pressure treated wood should be hot dipped galvanized
- ANY DISCREPANCIES, MISTAKES, OR CHANGES REQUIRES CONTRACTOR TO CONTACT ENGINEER AND OWNER PRIOR TO CONSTRUCTION**

## Table of Contents:

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| A001. Cover Page                |
| A002. Front/Back Elevation      |
| A003. Left/Right Elevation      |
| A004. Floor Plan - First Floor  |
| A005. First Floor Fire Safety   |
| A006. Floor Plan - Second Floor |
| A007. Second Floor Fire Safety  |
| A008. Foundation                |
| A009. Window and Door Schedule  |
| A010. Truss Layout              |
| A011. Wall Assembly             |
| A012. Truss Assembly            |
| A013. Details                   |

Drawn By: Eric Umbarger

Date: April 3, 2026

Builder:

Scale:

View: A001 Cover Page

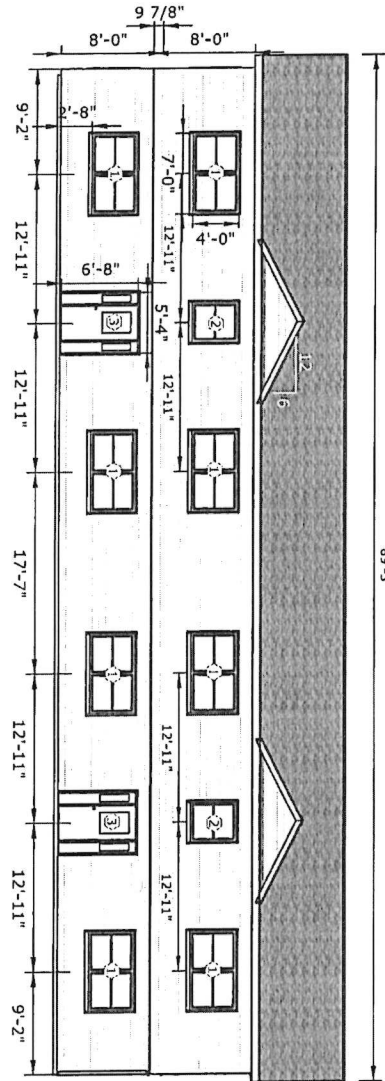
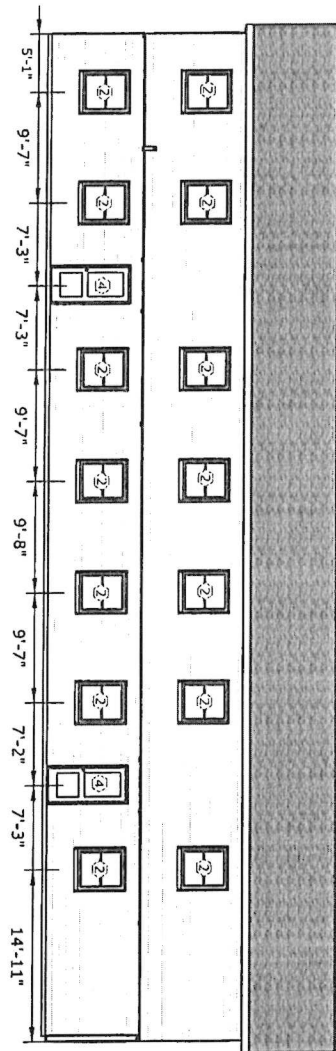


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Eric Umbarger  
738 Lockwood Rd | Marathon, NY | 13803  
803.665.0052  
musedesignanddraftingllc@gmail.com



Project:  
John DelVecchio  
1342 Fisher Ave



Drawn By: Eric Umbarger

Date: April 3, 2026

Builder:

Scale: 3/16"=1'  
1:64

View: A002 Front/Back Elevation

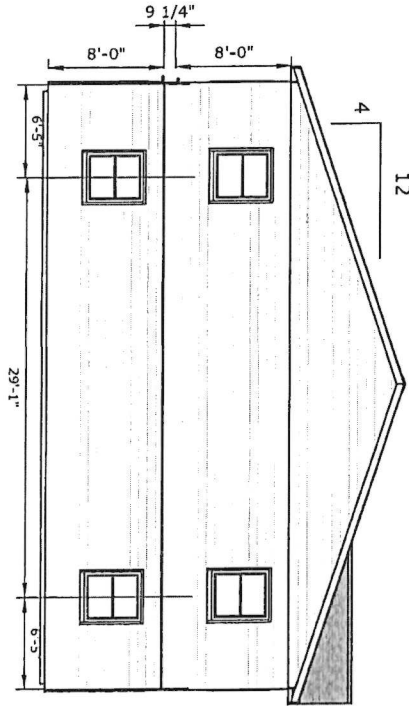


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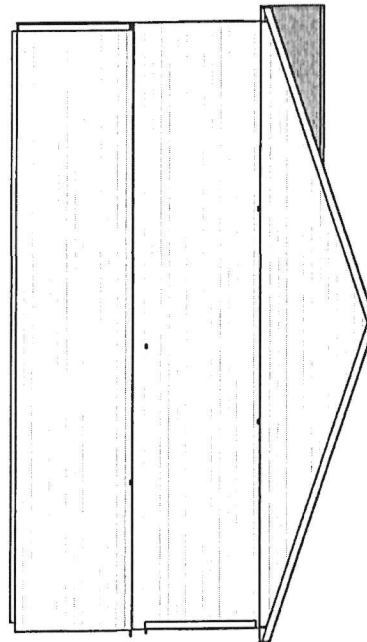
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Project:  
John DelVecchio  
1342 Fisher Ave



North Elevation



South Elevation

Drawn By: Eric Umbarger

Date: April 3, 2026

Builder:

Scale: 3/16"=1'  
1:64

View: A003 Left/Right Elevation



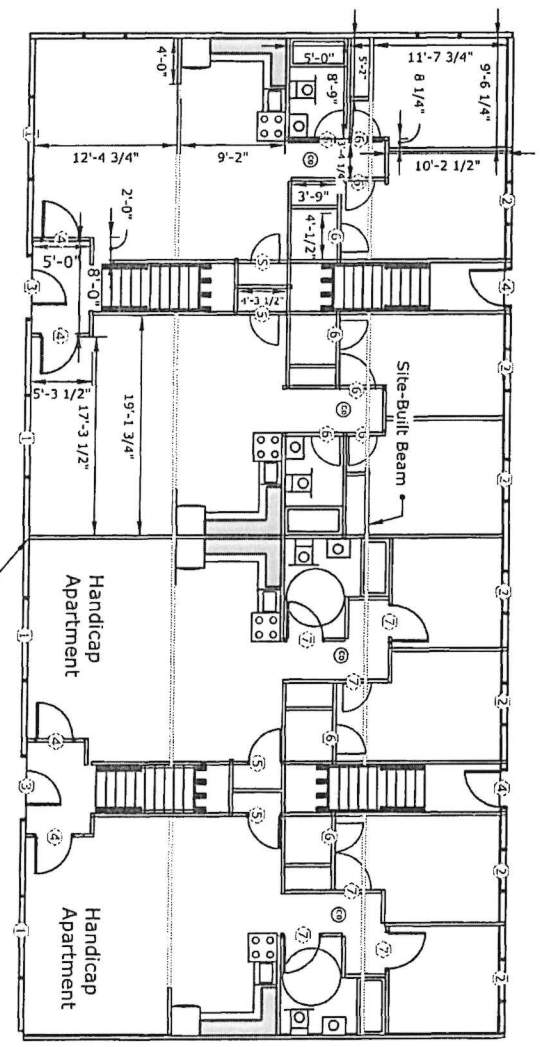
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Project:  
John DelVecchio  
1342 Fisher Ave

- Note:**
- All Handicap apartments to have grab bars in bathtub
  - All range hoods and bathroom fans to have mechanical ventilation outside



• Shared walls to be 2x4 Stagger Stud on 2x6 Bottom Plate with Sound Insulation and 5/8 Drywall. This wall to extend to exterior sheathing

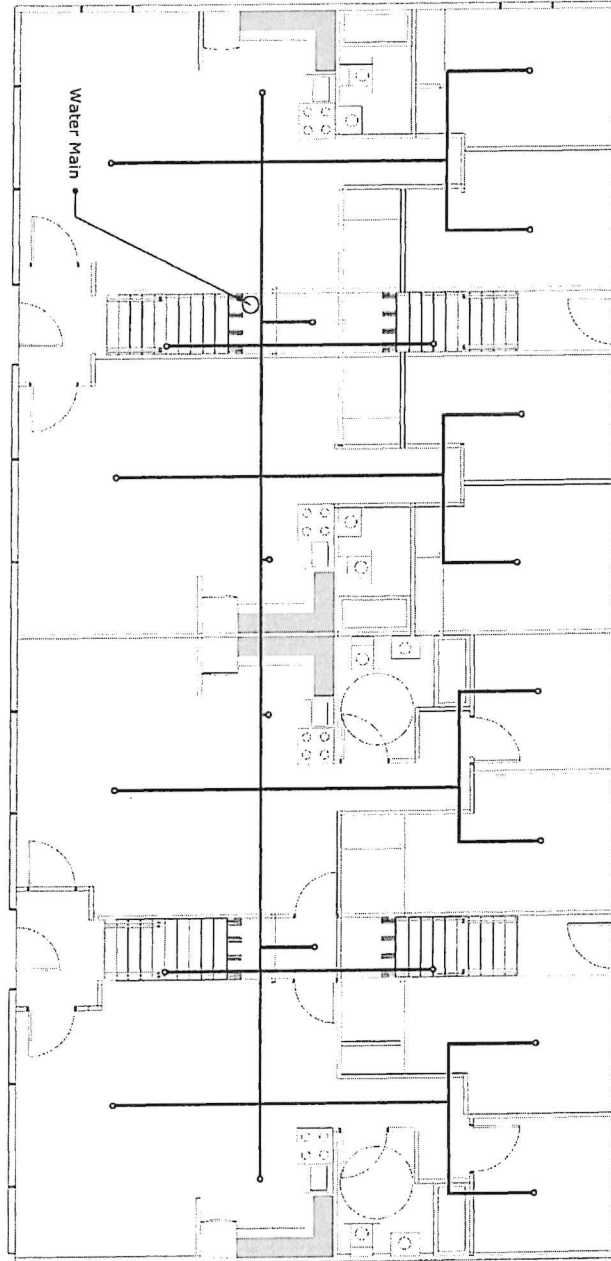
Drawn By: Eric Umbarger  
 Date: April 3, 2026  
 Builder:  
 Scale: 3/16" = 1'  
 1:64  
 View: A004 Floor Plan - First Floor



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Project:  
 John DelVecchio  
 1342 Fisher Ave



- Notes:
- All pipe to be fire rated, UL Listed, Schedule 40 3/4" CPVC with a working water pressure of 150PSI @ 150°F
  - All sprinklers systems meet all NFPA 13R requirements and shall be installed in accordance with all NFPA 13R requirements

Drawn By: Eric Umbarger

Date: April 3, 2026

Builder:

Scale:

View: A005 First Floor Fire Safety



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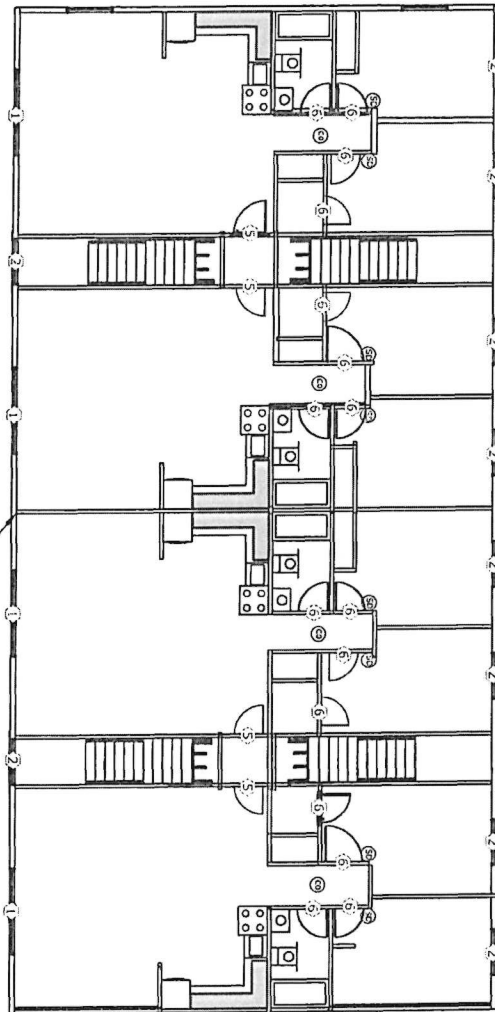
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Project:  
 John DeVecchio  
 1342 Fisher Ave

**Notes:**  
 • All range hoods and bathroom fans to have mechanical ventilation outside

Shared walls to be 2x4 Stagger Stud on 2x6 Bottom Plate with Sound Insulation and 5/8 drywall. Walls to extend to exterior sheathing



Drawn By: Eric Umbarger

Date: April 3, 2026

Builder:

Scale: 3/16"=1'  
 1:64

View: A006 Floor Plan - Second Floor



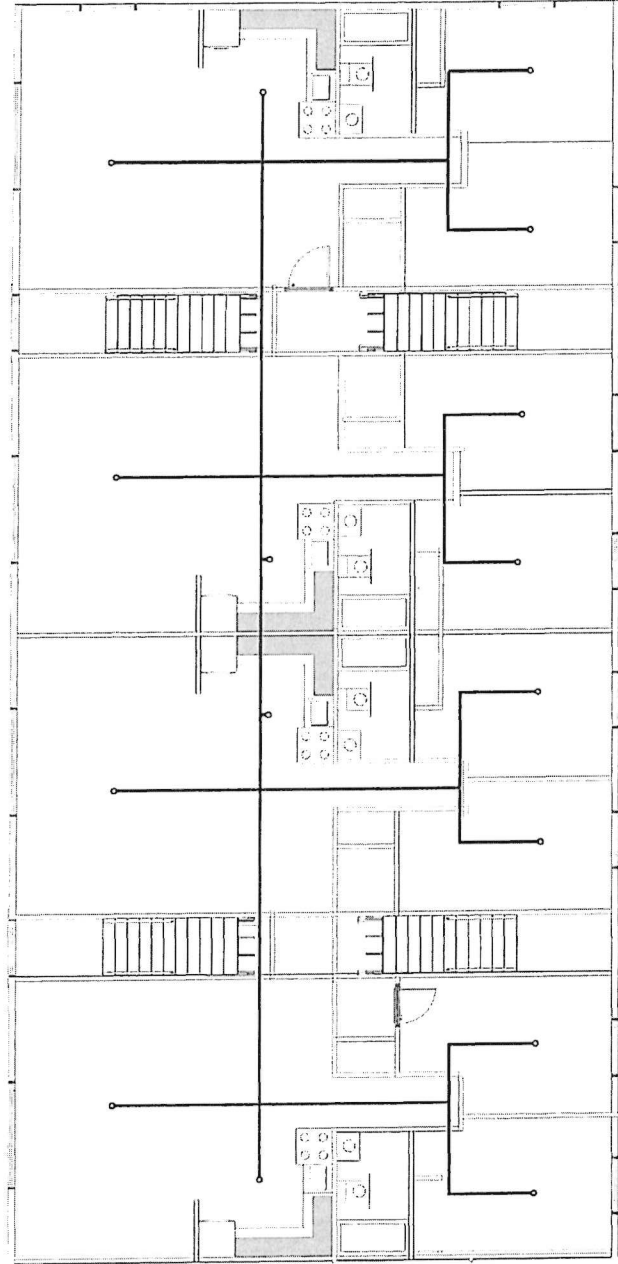
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Project:  
 John DeVecchio  
 1342 Fisher Ave





- Notes:
- All pipe to be fire rated, UL Listed, Schedule 40 3/4" CPVC with a working water pressure of 150PSI @ 150°F
  - All sprinklers systems meet all NFPA 13R requirements and shall be installed in accordance with all NFPA 13R requirements

Drawn By: Eric Umbarger

Date: April 3, 2026

Builder:

Scale:

View: A007 Second Floor Fire Safety



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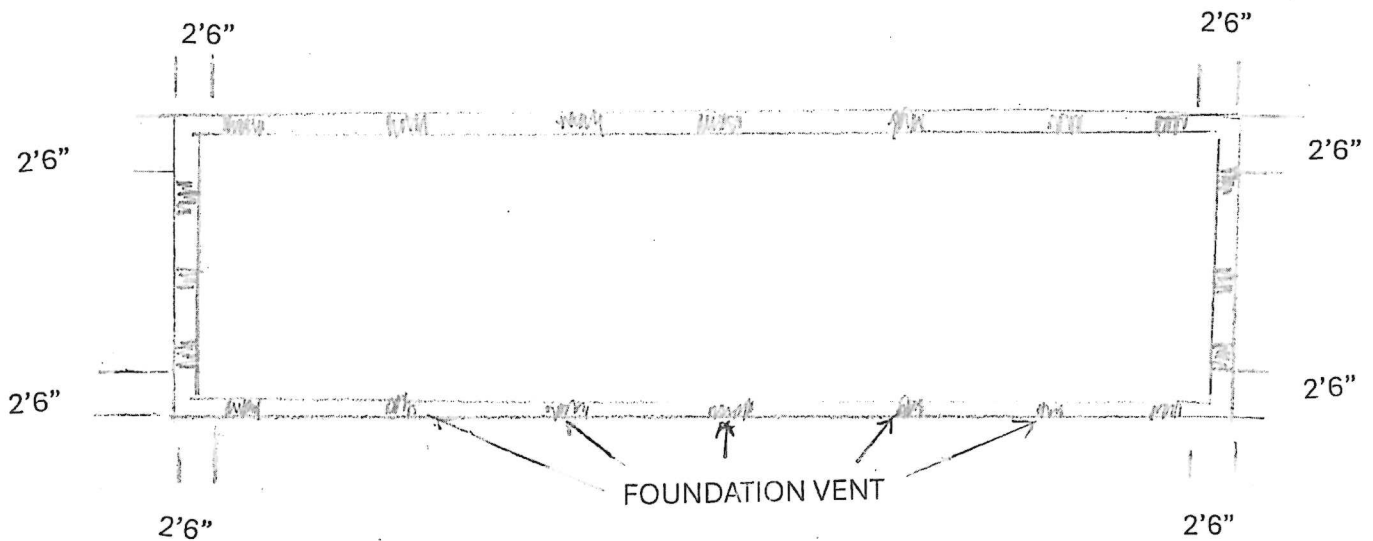
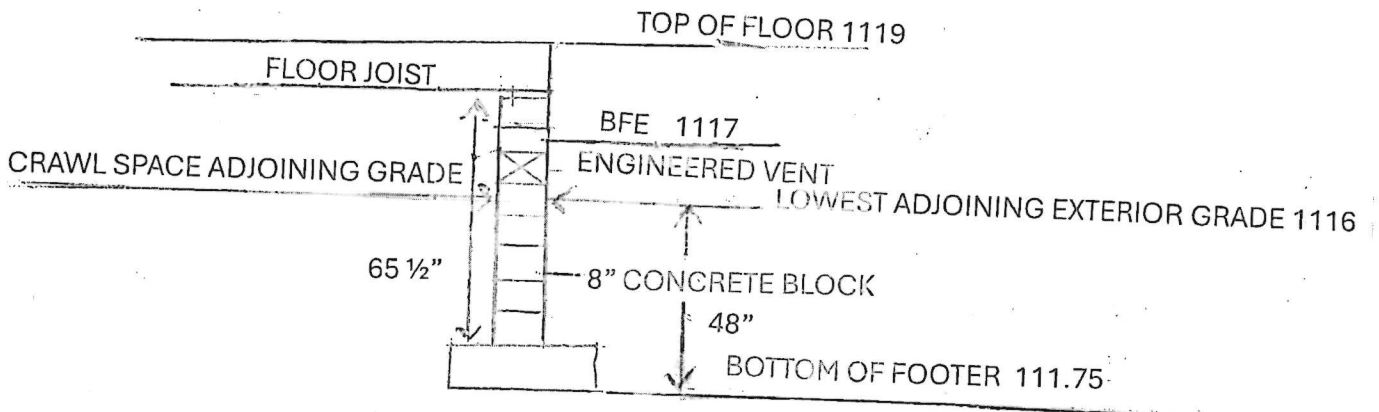
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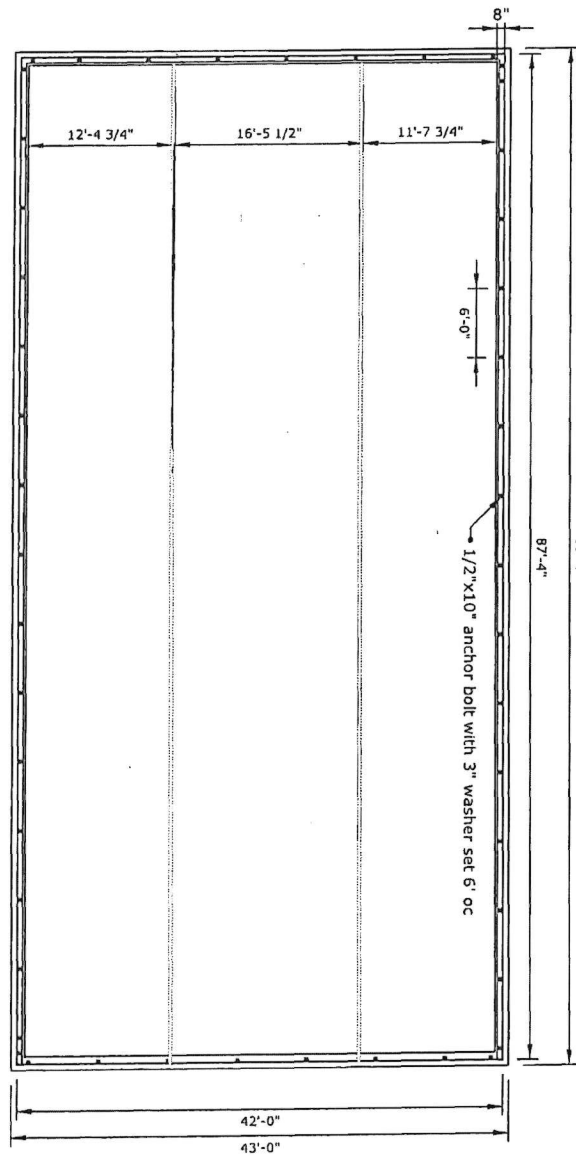


Project:

John DelVecchio  
 1342 Fisher Ave

# UPDATED FOUNDATION PLAN





Drawn By: Eric Umbarger

Date: April 3, 2026

Builder:

Scale: 3/16"=1'  
1:64

View: A008 Foundation



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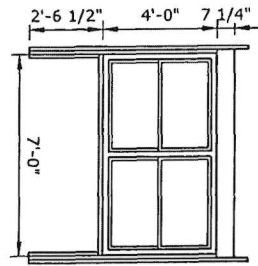
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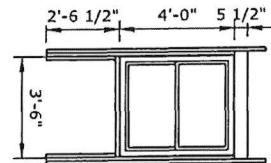
Project:

John DelVecchio  
1342 Fisher Ave

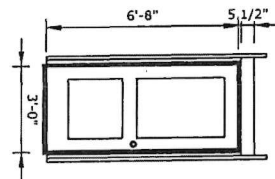
**Notes:**  
All Glass to be minimum double glazed Low-E



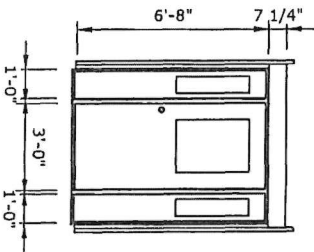
Exterior Twin Double Hung  
Double Glazed Low-E Glass  
Double 2x8 Header  
Symbol: 1  
Qty: 8



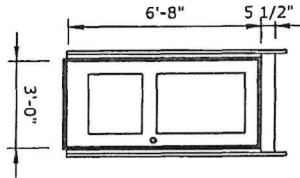
Exterior Double Hung  
Double Glazed Low-E Glass  
Double 2x6 Header  
Symbol: 2  
Qty: 20



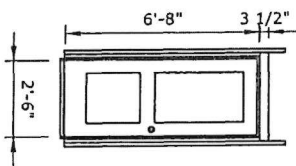
1 Hour Fire Rated Door with Self Closing Hinges  
Double 2x6 Header  
Symbol: 5  
Qty: 8



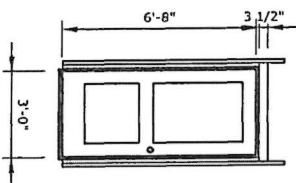
Exterior Door with Double Sidelites  
Double Glazed Low-E Glass  
Double 2x8 Header  
Symbol: 3  
Qty: 2



Exterior Door  
Double 2x6 Header  
Symbol: 4  
Qty: 6



Interior Door  
Double 2x4 Header  
Symbol: 6  
Qty: 26



Interior Door  
Double 2x4 Header  
Symbol: 7  
Qty: 6

Drawn By: Eric Umbarger

Date: April 3, 2026

Builder:

Scale: 3/16"=1'  
1:64

View: A009 Window and Door Schedule

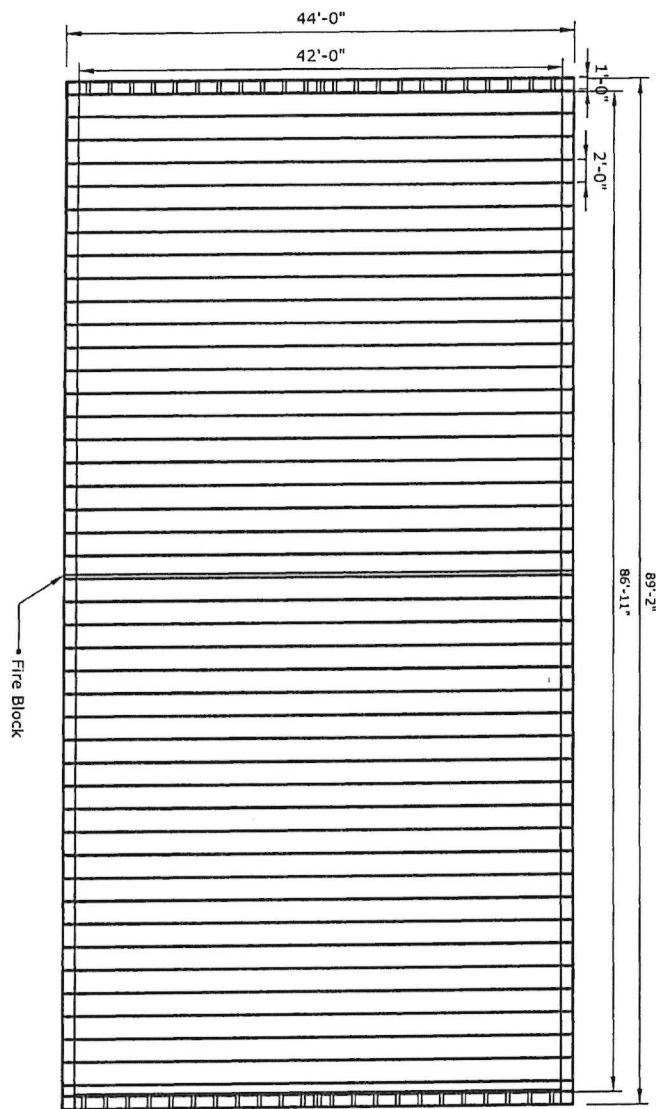


D.T.F. Engineering PLLC  
Dave Farber P.E. License #074112  
101 Columbine Court | Bozeman, MT | 59715  
farberdt@outlook.com  
315.243.3410

Muse Design and Drafting LLC  
Eric Umbarger  
738 Lockwood Rd | Marathon, NY | 13803  
803.665.0052  
musedesignanddraftingllc@gmail.com



Project:  
John DelVecchio  
1342 Fisher Ave



Drawn By: Eric Umbarger

Date: April 3, 2026

Builder:

Scale:

View: A010 Truss Layout



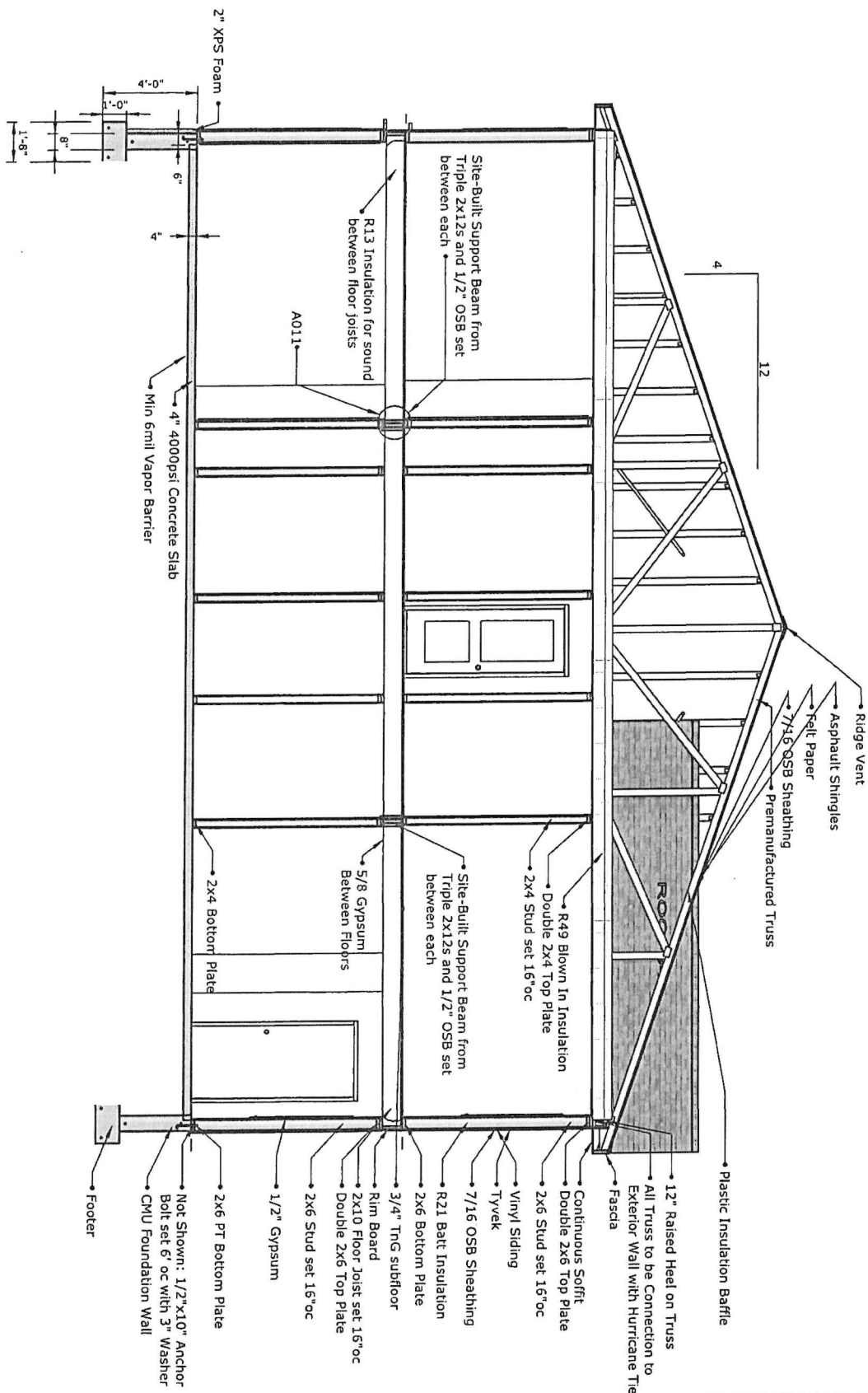
D.T.F. Engineering PLLC  
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musedesignanddraftingllc@gmail.com



Project:

John DeVecchio  
1342 Fisher Ave



Drawn By: Eric Umbarger

Date: April 3, 2026

Builder:

Scale: 3/16" = 1'  
1:64

View: A011 House Wall Assembly



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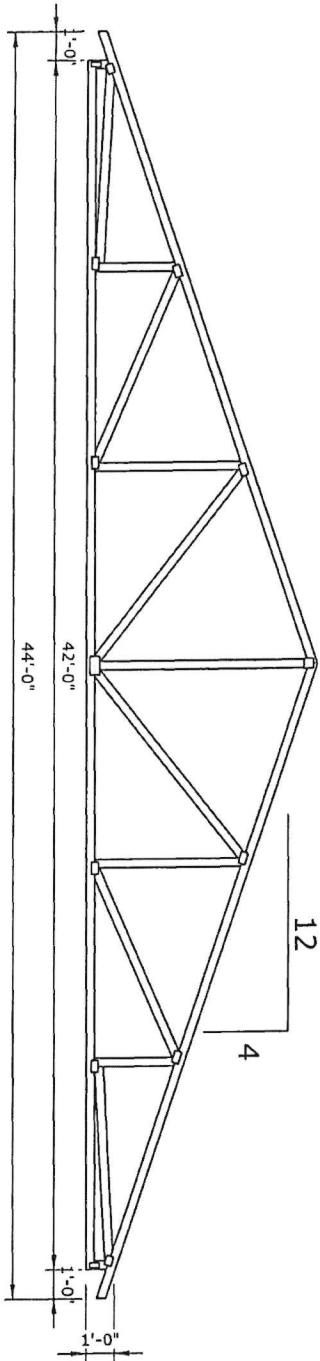
Project:

John DelVecchio  
1342 Fisher Ave

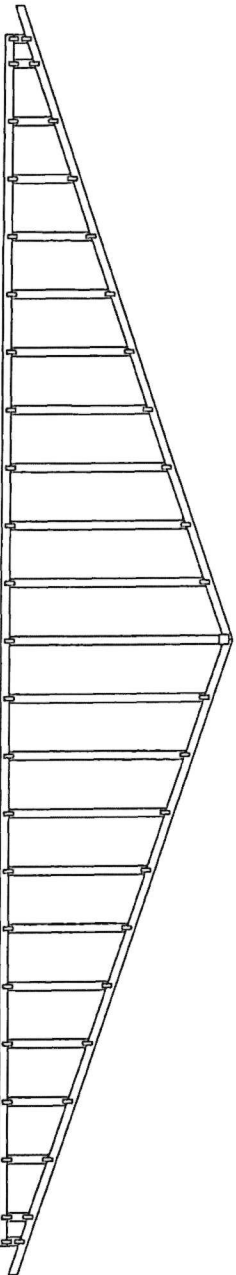
All trusses shall be designed and certified by a truss manufacture that is licensed in the State of New York

**Note:**

- Wind Load 110Vmph
- Ground Snow Load 84psf



Common Truss  
Qty: 43



Common Gable Truss  
Qty: 2

Drawn By: Eric Umbarger

Date: April 3, 2026

Builder:

Scale: 1/4"=1'  
1:48

View: A012 Truss Assembly



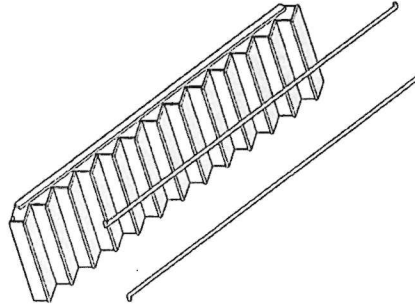
D.T.F. Engineering PLLC  
Dave Farber P.E. License #074112  
101 Columbine Court | Bozeman, MT | 59715  
farberdt@outlook.com  
315.243.3410

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738 Lockwood Rd | Marathon, NY | 13803  
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Project:  
John DelVecchio  
1342 Fisher Ave

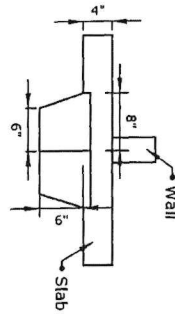
## Stairs



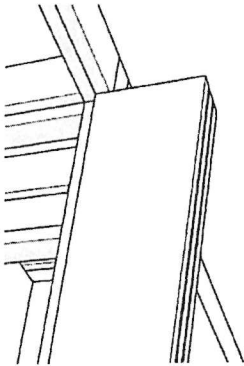
- Stairs Detail:
1. Hand rail required
  2. Handrail between 34" and 38" from tread
  3. Handrail to be 1.5" min from inside to wall
  4. Handrail to be 4.5" max from outside to wall
  5. Treads to be 10" wide minimum
  6. Risers to be 7 3/4" maximum
  7. Minimum stairs width to be 36"
  8. Minimum head room clearance to be 6' 8"
  9. Maximum stairway rise to be 12' 7"
  10. Minimum tread nose to be 3/4" on treads smaller than 11"
  11. All stairs to be within 1/8" height difference from one another
  12. Recommended four stringers for 48" width stairs
  13. Recommended 2x4 Thrust block at bottom of stairs

## Thickened Slab

Required under all interior bearing partitions

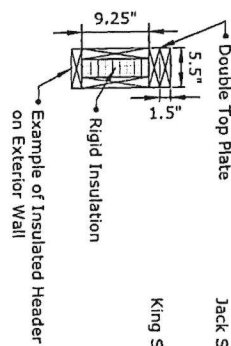


## Site-Built Beams



- Alternate seams
- Use random nailing pattern
- Center Over walls
- Use single top plate where beams land on bearing walls

## Window/Door Header



Example of Insulated Header on Exterior Wall

Drawn By: Eric Umbarger

Date: April 3, 2026

Builder:

Scale:

View: A013 Details



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Project:  
John DelVecchio  
1342 Fisher Ave



617.20  
Appendix B  
Short Environmental Assessment Form

**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |  |                                                        |                    |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|--------------------------------------------------------|--------------------|
| <b>Part 1 - Project and Sponsor Information</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                              |  |                                                        |                    |
| 138 Central LLC                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |  |                                                        |                    |
| Name of Action or Project:<br>Fisher Ave Apartments                                                                                                                                                                                                                                                                                                                                                                                                                                                          |  |                                                        |                    |
| Project Location (describe, and attach a location map):<br>1342 Fisher Avenue Cortland NY                                                                                                                                                                                                                                                                                                                                                                                                                    |  |                                                        |                    |
| Brief Description of Proposed Action:<br>Construct A 12 UNIT Multi-FAMILY<br>AND<br>CONSOLIDATE 4 PARCELS INTO 1                                                                                                                                                                                                                                                                                                                                                                                             |  |                                                        |                    |
| Name of Applicant or Sponsor:<br>138 Central LLC                                                                                                                                                                                                                                                                                                                                                                                                                                                             |  | Telephone: (607) 423-0294<br>E-Mail: jf01985@yahoo.com |                    |
| Address:<br>P.O. Box 705 Cortland                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |  |                                                        |                    |
| City/PO:<br>Cortland                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |  | State:<br>N.Y.                                         | Zip Code:<br>13045 |
| 1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?<br>If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.                                                                                                                                                         |  |                                                        | NO<br>X<br>YES     |
| 2. Does the proposed action require a permit, approval or funding from any other governmental Agency?<br>If Yes, list agency(s) name and permit or approval:<br>CONDITIONAL Permit                                                                                                                                                                                                                                                                                                                           |  |                                                        | NO<br>YES<br>X     |
| 3.a. Total acreage of the site of the proposed action?                                                                                                                                                                                                                                                                                                                                                                                                                                                       |  | 2.8 acres                                              |                    |
| b. Total acreage to be physically disturbed?                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |  | .41 acres                                              |                    |
| c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?                                                                                                                                                                                                                                                                                                                                                                                       |  | 2.8 acres                                              |                    |
| 4. Check all land uses that occur on, adjoining and near the proposed action.<br><input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)<br><input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____<br><input type="checkbox"/> Parkland |  |                                                        |                    |

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |    |     |     |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----|-----|-----|
| 5. Is the proposed action,<br>a. A permitted use under the zoning regulations?                                                                                                                                                                                                                                                                                                                                                                                                           | NO | YES | N/A |
| b. Consistent with the adopted comprehensive plan?                                                                                                                                                                                                                                                                                                                                                                                                                                       |    | ✓   |     |
| 6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?                                                                                                                                                                                                                                                                                                                                                                          |    | NO  | YES |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |    |     | ✓   |
| 7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?<br>If Yes, identify: _____                                                                                                                                                                                                                                                                                                                                              |    | NO  | YES |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |    | ✓   |     |
| 8. a. Will the proposed action result in a substantial increase in traffic above present levels?                                                                                                                                                                                                                                                                                                                                                                                         |    | NO  | YES |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |    | ✓   |     |
| b. Are public transportation service(s) available at or near the site of the proposed action?                                                                                                                                                                                                                                                                                                                                                                                            |    |     | ✓   |
| c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?                                                                                                                                                                                                                                                                                                                                                                                 |    |     | ✓   |
| 9. Does the proposed action meet or exceed the state energy code requirements?<br>If the proposed action will exceed requirements, describe design features and technologies: _____                                                                                                                                                                                                                                                                                                      |    | NO  | YES |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |    |     | ✓   |
| 10. Will the proposed action connect to an existing public/private water supply?<br>[If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES]<br>If No, describe method for providing potable water: _____                                                                                                                                                                                                |    | NO  | YES |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |    |     | ✓   |
| 11. Will the proposed action connect to existing wastewater utilities?<br>[If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES]<br>If No, describe method for providing wastewater treatment: _____                                                                                                                                                                                                   |    | NO  | YES |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |    |     | ✓   |
| 12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?                                                                                                                                                                                                                                                                                                                                                                     |    | NO  | YES |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |    | ✓   |     |
| b. Is the proposed action located in an archeological sensitive area?                                                                                                                                                                                                                                                                                                                                                                                                                    |    | ✓   |     |
| 13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?                                                                                                                                                                                                                                                                                                 |    | NO  | YES |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |    | ✓   |     |
| b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?<br>If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____                                                                                                                                                                                                                                                                                |    | ✓   |     |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |    |     |     |
| 14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:<br><input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional<br><input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban                                                                        |    |     |     |
| 15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?                                                                                                                                                                                                                                                                                                                   |    | NO  | YES |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |    | ✓   |     |
| 16. Is the project site located in the 100 year flood plain?                                                                                                                                                                                                                                                                                                                                                                                                                             |    | NO  | YES |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |    |     | ✓   |
| 17. Will the proposed action create storm water discharge, either from point or non-point sources?<br>If Yes,<br>a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES<br>b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?<br>If Yes, briefly describe: <u>DESIGNED STORM SEWER</u> <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES |    | NO  | YES |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |    | ✓   |     |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |    |     |     |



|                                                                                                                                                                                                                      |    |     |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----|-----|
| 18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)?<br>If Yes, explain purpose and size: _____  | NO | YES |
| 19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?<br>If Yes, describe: _____                                                | NO | YES |
| 20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?<br>If Yes, describe: _____                                              | NO | YES |
| <b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b><br>Applicant/sponsor name: <u>138 CENTRAL LLC</u> Date: <u>1/23/2026</u><br>Signature: <u>Amelun DelVandier</u> |    |     |

**Part 2 - Impact Assessment.** The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

|                                                                                                                                                                            | No, or small impact may occur | Moderate to large impact may occur |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------|------------------------------------|
| 1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?                                                                | ✓                             |                                    |
| 2. Will the proposed action result in a change in the use or intensity of use of land?                                                                                     | ✓                             |                                    |
| 3. Will the proposed action impair the character or quality of the existing community?                                                                                     | ✓                             |                                    |
| 4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?                      | ✓                             |                                    |
| 5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?            | ✓                             |                                    |
| 6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities? | ✓                             |                                    |
| 7. Will the proposed action impact existing:<br>a. public / private water supplies?                                                                                        | ✓                             |                                    |
| b. public / private wastewater treatment utilities?                                                                                                                        | ✓                             |                                    |
| 8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?                                   | ✓                             |                                    |
| 9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?                     | ✓                             |                                    |

|                                                                                                                 | No, or<br>small<br>impact<br>may<br>occur | Moderate<br>to large<br>impact<br>may<br>occur |
|-----------------------------------------------------------------------------------------------------------------|-------------------------------------------|------------------------------------------------|
| 10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems? | ✓                                         |                                                |
| 11. Will the proposed action create a hazard to environmental resources or human health?                        | ✓                                         |                                                |

**Part 3 - Determination of significance.** The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

|                                                                                                                                                                                                                                                                                                       |                                                                                     |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------|
| <input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required. |                                                                                     |
| <input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.                                                             |                                                                                     |
| <u>Town Planning Board</u><br>Name of Lead Agency                                                                                                                                                                                                                                                     | <u>5/26/26</u><br>Date                                                              |
| <u>CHRISTOPHER NEWELL</u><br>Print or Type Name of Responsible Officer in Lead Agency                                                                                                                                                                                                                 | <u>CHAIRPERSON</u><br>Title of Responsible Officer                                  |
| <u>[Signature]</u><br>Signature of Responsible Officer in Lead Agency                                                                                                                                                                                                                                 | <u>[Signature]</u><br>Signature of Preparer (if different from Responsible Officer) |

Bounce WEBER



**Cortland County**  
Industrial Development Agency

# *Financial Reports*

Cortland County IDA  
Balance Sheet  
July 31, 2026

ASSETS

CURRENT ASSETS

|                          |                             |
|--------------------------|-----------------------------|
| NBT - Checking 5112      | \$ 21,683.64                |
| NBT Proj Invest Checking | 2,761,096.47                |
| NBT Money Mkt Savings    | 96,231.57                   |
| Prepaid Expenses         | 1,797.31                    |
|                          | <u>                    </u> |

|                      |  |              |
|----------------------|--|--------------|
| TOTAL CURRENT ASSETS |  | 2,880,808.99 |
|----------------------|--|--------------|

PROPERTY AND EQUIPMENT

|                            |                             |
|----------------------------|-----------------------------|
| Land-Railroad Properties   | 209,818.00                  |
| Land-Contento Property     | 91,835.00                   |
| Land-Cleveland St - Apex   | 303,143.60                  |
| Building- 5 Kennedy Pkwy   | 211,579.26                  |
| Leasehold Improvements     | 3,376.80                    |
| Accum.Depreciation-L.H.I.  | (3,376.80)                  |
| Office Equipment/Furniture | 2,159.08                    |
| Accum.Depreciation-FF&E    | (616.88)                    |
|                            | <u>                    </u> |

|                          |  |            |
|--------------------------|--|------------|
| NET PROPERTY & EQUIPMENT |  | 817,918.06 |
|--------------------------|--|------------|

RECEIVABLES

|                          |                             |
|--------------------------|-----------------------------|
| Lease A/R - Park Outdoor | 42,232.94                   |
|                          | <u>                    </u> |

|                   |  |                  |
|-------------------|--|------------------|
| TOTAL RECEIVABLES |  | <u>42,232.94</u> |
|-------------------|--|------------------|

|              |    |                            |
|--------------|----|----------------------------|
| TOTAL ASSETS | \$ | <u><u>3,740,959.99</u></u> |
|--------------|----|----------------------------|

LIABILITIES/FUND BALANCE

CURRENT LIABILITIES

|  |                             |
|--|-----------------------------|
|  | <u>                    </u> |
|--|-----------------------------|

|                           |  |      |
|---------------------------|--|------|
| TOTAL CURRENT LIABILITIES |  | 0.00 |
|---------------------------|--|------|

LONG TERM LIABILITIES

|                         |                             |
|-------------------------|-----------------------------|
| Deferred Inflows-Leases | \$ 42,232.94                |
|                         | <u>                    </u> |

|                             |  |           |
|-----------------------------|--|-----------|
| TOTAL LONG TERM LIABILITIES |  | 42,232.94 |
|-----------------------------|--|-----------|

|                   |  |                  |
|-------------------|--|------------------|
| TOTAL LIABILITIES |  | <u>42,232.94</u> |
|-------------------|--|------------------|

FUND BALANCE

|                       |                             |
|-----------------------|-----------------------------|
| Unrestricted Earnings | 3,157,669.50                |
| Net Income            | 541,057.55                  |
|                       | <u>                    </u> |

|                    |  |                     |
|--------------------|--|---------------------|
| TOTAL FUND BALANCE |  | <u>3,698,727.05</u> |
|--------------------|--|---------------------|

|                           |    |                            |
|---------------------------|----|----------------------------|
| TOTAL LIAB & FUND BALANCE | \$ | <u><u>3,740,959.99</u></u> |
|---------------------------|----|----------------------------|

Cortland County IDA  
Income Statement  
For the Seven Months Ending July 31, 2026

|                              | Current Month | Year to Date  |
|------------------------------|---------------|---------------|
| REVENUE                      |               |               |
| Application Fees             | \$ 500.00     | \$ 21,000.00  |
| Project Fee                  | 0.00          | 17,600.00     |
| Interest on Deposits         | 5,867.53      | 38,026.62     |
| Lease Interest Revenue       | 0.00          | 1,123.40      |
| Land Lease                   | 0.00          | 13,709.60     |
| Homer Ave Bridge Project     | 0.00          | 525,875.00    |
| Cortlandville PV Solar PILOT | 0.00          | 27,500.00     |
| Creamery Hills PILOT         | 0.00          | 12,376.31     |
| 83-85 Main LLC PILOT         | 0.00          | 16,393.05     |
| Lapeer Cortland Solar PILOT  | 0.00          | 45,000.00     |
| DG NY 1 C Ville LLC          | 0.00          | 24,354.72     |
| Janis Solar LLC              | 0.00          | 32,472.96     |
| Yellow 3 LLC                 | 0.00          | 17,860.13     |
| DG NY C'Ville #3             | 0.00          | 23,877.18     |
| Crescent Commons             | 0.00          | 26,523.00     |
|                              | <hr/>         | <hr/>         |
| Total Revenue                | 6,367.53      | 843,691.97    |
|                              | <hr/>         | <hr/>         |
| TOTAL REVENUE                | 6,367.53      | 843,691.97    |
|                              | <hr/>         | <hr/>         |
| EXPENSES                     |               |               |
| 5 Kennedy Pkwy               | 1,427.69      | 6,677.00      |
| Contento Project Expenses    | 0.00          | 390.00        |
| Apex/Cleveland St Property   | 535.11        | 735.67        |
| Accounting                   | 0.00          | 8,700.00      |
| Legal                        | 4,680.00      | 8,400.50      |
| Meetings/Seminars/Conf       | 0.00          | 150.00        |
| Property Tax-Sewer/Water     | 0.00          | 209.24        |
| D & O Insurance              | 122.92        | 860.44        |
| Depreciation                 | 0.00          | 154.22        |
| Creamery Hills PILOT         | 0.00          | 12,376.31     |
| 83-85 Main LLC PILOT         | 0.00          | 16,393.05     |
| Lapeer Cortland Solar PILOT  | 0.00          | 45,000.00     |
| DG NY 1 C Ville              | 0.00          | 24,354.72     |
| Janis Solar LLC              | 0.00          | 32,472.96     |
| Yellow 3 LLC                 | 0.00          | 17,860.13     |
| DG NY C'Ville #3             | 0.00          | 23,877.18     |
| Crescent Commons             | 0.00          | 26,523.00     |
| Cortlandville PV Solar PILOT | 0.00          | 27,500.00     |
| BDC Admin Support            | 0.00          | 50,000.00     |
|                              | <hr/>         | <hr/>         |
| TOTAL EXPENSES               | 6,765.72      | 302,634.42    |
|                              | <hr/>         | <hr/>         |
| NET INCOME                   | \$ (398.19)   | \$ 541,057.55 |
|                              | <hr/> <hr/>   | <hr/> <hr/>   |



**Cortland County**  
Industrial Development Agency

## *Director's Report*



# Director's Report

August 10, 2026

## **Current:**

- Housing Projects
  - Regan Development (68 & Daycare)- Cortlandville Commons LLC
  - Arbor Brook Flats (36) – Homer
  - Gillette Skirt Factory (23) – City of Cortland
  - River Street Senior Housing (58) – Cortland Housing Assistance Council, Inc.
  - 138 Central LLC (8 units) - Delvecchio
  - Marathon NY Forward
- EPA Brownfield Grant – BCBP (Brownfield Cleanup Program) - APEX
- AES Solar – formerly EDF – Cortlandville, Homer, Solon
  - Preliminary inducement 2.9.26 – Final Inducement 3.9.26
  - Project fee payment schedule
- Scott Road Solar – Homer 5MW
  - Preliminary inducement 2.9.26 – Final Inducement 3.9.26
  - Ownership transfer June 8, 2026 meeting
- Crown City Solar (3) applications
  - Preliminary Inducement 3.9.26 – Final Inducement 4.13.26
- Marathon NY Forward
  - NYS awarded projects
- Homer Bridge – FEMA \$525,875 – Buhl is preparing RFP
- 5 Kennedy Parkway
- Cortland County Audit
- Village of Homer Small Project
- Micron Tri County Alliance

## • **Meet & Greets**

- Jason Griffin – Housing
- Tom Sequic – APEX
- Allan Gandleman – NY Hemp
- Jesse McMahon – Ramboll
- Gabe Regan – Regan Development
- Roberta Reardon – NYS DOL Commissioner
- John Delvecchio – Housing